

Westfield Community Development Department

**Building Department** 

Building Permit Packet

**COMMERCIAL** 

# CITY OF WESTFIELD COMMUNITY DEVELOPMENT DEPARTMENT

## **BUILDING PERMIT PACKET**

### COMMERCIAL

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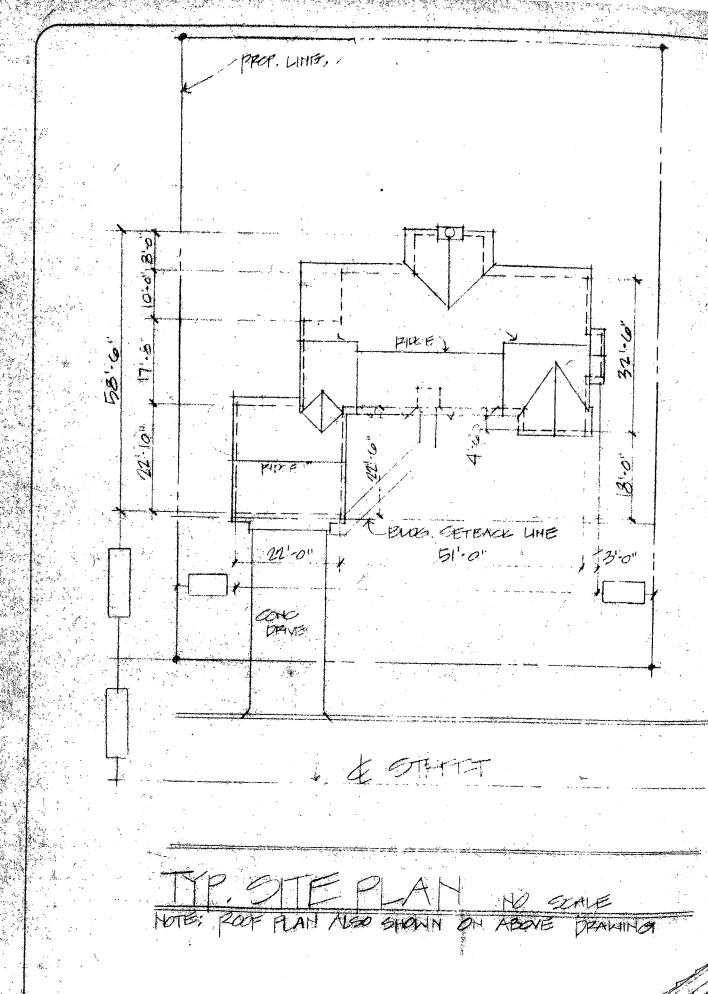
	FOR AFFIRE USE.	
Date Filed: By:	FOR OFFICE USE:  Permit Application No:	
Westfield  Judiana 1834 OM Town Charm, New City Style	City of Westfield - Washington To Department of Community Developmer 2706 East 171st Street, Westfield Tel. (317) 804 - 3170 Fax. (317) 896 - 2791 Emails	ownship, Indiana nt - Building Inspections ld, IN 46074
LOCATION OF PERMIT ACTIVITY:		
Lot Number: in Section	of	•
Street Number/Name: City: State: Indiana	Zip: Township/Jurisdiction	on: Westfield - Washington Twp
Parcel Number:		
If the subject property does not include one or more Recorder, and/or a legal description of the property n	e lots in a subdivision, the plat of which has been re nust be attached.	corded in the Office of the Hamilton County
OWNER / APPLICANT INFORMATION:	BUILDER / CONTRAC	TOR INFORMATION:
Name:		
Telephone:	Telephone:	
Current Mailing Address:	Current Mailing Addres	s: 
Estimated Cost of Construction: \$	License Number: _	
GENERAL PROPERTY INFORMATION:		
Type of Water Supply:    Public System  Private Syste		
Type of Sewage Disposal:  Public System Private Syste		
Current Zoning Classifiation of Property:	<u>-</u>	
Current Use of Property:		
Is the property in a special flood hazard area,	as established by the Federal Emergency	Management Agency - National Flood
Insurance Program (FEMA-NFIP), as per flood	·	
YES NO FEMA-NFIP panel  If yes, flood zone descripti		
INTENDED / PROPOSED USE:	N 5 11 11	
Residential  One-Family Detached	Non-Residential  Retail / Commercial	Type of Improvement
☐ Two-Family Attached (duplex, villa)	Office / Professional	□ New Structure □ Addition
☐ Multi-Family: # of units	☐ Hotel / Motel - # of Rooms:	☐ Addition☐ Alteration, Remodel, or Repair
□ Modular Home	☐ Industrial	Commerical Tenant Space
☐ Mobile Home	☐ Institutional: (Use)	☐ Primary Ag Structure
☐ Detached Addition: (Use)	☐ Accessory Building	☐ Foundation Only
☐ Attached Addition: (Use)	☐ Structure other than a Building	☐ Electrical Upgrade
☐ Swimming Pool (Private)	☐ Other: (Use)	□ Demolition
☐ Deck or Porch		□ Swimming Pool
☐ Fence		Roofing
Other: (Use)		☐ Site-Land-Earthwork
		☐ Signage☐ Other: (Use)
Certification and Notice of Intent to Comply:		a other (ose)
hereby certify that I have the authority to make the foregoing	ing application, that the application is correct, and tha	at construction will comply with, and conform to al
applicable laws of the State of Indiana. I further certify that the governing jurisdiction, which may be imposed on the a	he construction will conform to the regulations in the B	Buidling Code, the Zoning Ordinance, or private of
certificates of occupancy and compliance are filed with the g	poverning jurisdiction.	aruction will not be used or occupied until prope

Signature of Owner / Authorized Agent Date

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	FOR OFFICE USE:
Date Filed: By: Perm	nit Application No:
Westfield  Indiana 1834 Old Town Charm, New City Style  Tel. (3	VEMENT LOCATION PERMIT APPLICATION  City of Westfield - Washington Township, Indiana artment of Community Development - Building Inspections  2706 East 171st Street, Westfield, IN 46074  317) 804 - 3170 Fax. (317) 896 - 2791 Email: community@westfield.in.gov
BUILDING / CONSTRUCTION INFORMATION: FOR  Dimensions Read by Ord.  Lot Frontage:  Lot Width:  Lot Area  1st Floor Living Area:  2nd Floor Living Area:  Min. Building Height:  Max .Building Height:  Total SqFt (incl basem.):  Front Yd Setback:  Rear Yd Setback:  Side Yd Setback:  NE: NW:  Type of Heating Fuel: Electric Gas  Fireplace: Electric Gas  Fireplace: Electric Gas  Central A/C: Yes No  Basement: Yes No  Roof Truss, Manufactured: Yes No  Type of Frame: Masonry Metal  REQUIRED ATTACHMENTS:  Properties within City Limits:  Legal Description of Property  Two sets of site plans showing the following:  Property Lines on all sides.  Location of existing structures on property widimensions to property lines.  Size of existing structures.	Submission   Yes   No   Yes   Yes   No   Yes   Yes   No   Yes   No   Yes   No   Yes   No   Yes   No   Yes   Yes   No   Yes   Yes   No   Yes   No   Yes   No   Yes   Yes   No   Yes   Yes   No   Yes   Yes   No   Yes   Ye
□ Location of right-of-way, drainage and utility easements where applicable. □ Subdivision lot number / street address. □ Two sets of blueprints of the work showing: □ Foundation Plan. □ Floor plan(s) of each floor showing window lot door locations, etc. □ Cross section drawing of structure showing for through shingles denoting sizes or thickness members used in construction. □ Elevations: All four sides □ All plans / drawings must be to scale.	□ Hamilton Western Utilities, or □ Proof of connection to State approved private utility. □ Driveway cut application from Hamilton County Highway Department.
	ard of Zoning Appeals: City Council:
ILP Fee:  Road Impact Fee:  Park Impact Fee:  Water Fee:	struction Approval:  Hamilton County Highway Dept:  (s) Paid Stamps:

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# Occupying a structure/dwelling before a passed final inspection will result in a \$5000.00 Fine



Commercial

READ
ALL
MATERIAL

## **Required Inspections and Procedures**

The following inspections are required. Each inspection must be approved prior to proceeding to the next phase of construction. An approved inspection will be indicated by the inspectors dated signature on the **original** cardboard permit that is to be placed either in a window or on a smooth surface in the building at the rough-in inspection. If there is no Original Building Permit Card on the job site at this time the inspection will be rejected. There will also be a \$90.00 fee for a rejected or missed inspection.

## A NOTICE OF 24 HOURS IS REQUIRED

A CONFIRMATION NUMBER WILL BE GIVEN FOR EACH INSPECTION

#### REQUIRED INSPECTIONS

- 1.) Footing
- 2.) Foundation/underslab
- 3.) Rough-in
- 4.) Final

#### **COMMERCIAL**

#### **Footing**

- 1.) Grade stakes to be in place for inspection.
- 2.) Check all setbacks to property lines to insure compliance to zoning.
- 3.) Site plan must match the footing being poured or all work will discontinue until corrected plans are submitted, reviewed, and released.
- 4.) Inspection is required before footings are poured. Do not pour until the inspector has been there to inspect. ( Not doing so could result in removing any footings that have been poured.)
- 5.) If partial inspections are to be done, each section should be called in on a daily basis. Do not expect or assume the inspector will be there if no inspection has been called in for that day.

#### COMMERCIAL

- Fdn/Unsl
  1.) Insulation must be in place.
  - 2.) All re-enforcement steel to be in place at this time.
  - Each inspection performed over the original 4 paid for at the time of permit issuance, will be accessed after the final inspection and before the Certificate of Occupancy is issued.
  - 4.) Inspection is required after blocks are laid or walls are poured.
  - 5.) Check for anchor bolt locations on perimeter and center pads.
  - 6.) Any/all slab plumbing and/or electrical conduit must be in place at this time.

#### **COMMERCIAL**

## Rough-In BUILDING MUST BE WEATHER-TIGHT AT THIS TIME ORIGINAL CARDBOARD PERMIT TO BE POSTED AT THIS TIME.

- 1.) All rough framing, electrical, plumbing, and mechanical must be done at this time.
- 2.) DO NOT INSULATE AT ALL BEFORE THIS INSPECTION.
- 3.) All doors, windows, and garage doors must be installed at this time.

## **COMMERCIAL** Final Structure

- 1.) All electrical, plumbing, and mechanical must be complete and working at this time.
- All flooring/ finished walls, ceiling, and wall switch/plug covers must be in place at this time.
- 3.) All landscape/site requirements must be in place and satisfied by the Community Development Dept. and Westfield Public Works after this inspection and prior to the issuance of the Certificate of Occupancy.
- 4.) There should be no office furniture or equipment in the building at this time.
- 11.) Final Inspection should be scheduled 3 to 5 working days prior to Builder/Client closing.
- 12.) There shall not be anything moved into the unit until this inspection has passed, all fees have been paid and the Certificate of Occupancy has issued

Occupying a structure/dwelling before a passed final inspection will result in a \$5000.00 Fine

#### Prepared by:

John C. (Jack) White (Building Commissioner) City of Westfield 130 Penn St. Westfield IN. 46074 (317) 896-5577

Ken Macy (Building Inspector) City of Westfield 130 Penn St. Westfield IN. 46074 (317) 896-5577 Paul Acord (Building Inspector) City of Westfield 130 Penn St. Westfield IN. 46074 (317) 896-5577

To: ALL CONTRACTORS AND BUILDERS RE: BURNING ON CONSTRUCTION SITE

ARTICLE 87: 1997 UNIFORM FIRE CODE STATE OF INDIANA 8704.5 ( COMBUSTIBLE DEBRIS ) COMBUSTIBLE DEBRIS SHALL NOT BE ACCUMULATED WITHIN THE BUILDINGS. COMBUSTIBLE DEBRIS; RUBBISH AND WASTE MATERIAL SHALL BE REMOVED FROM BUILDING AS OFTEN AS PRACTICAL. COMBUSTIBLE DEBRIS, WASTE MATERIAL, AND TRASH SHALL NOT BE BURNED ON SITE UNLESS APPROVED BY A VARIANCE

#### **VIOLATORS ARE SUBJECT TO LEGAL ACTION INCLUDING FINES**

VARIANCES ARE CONSIDERED ON A CASE BY CASE BASIS AND APPROVAL MUST BE ATTAINED IN WRITING PRIOR TO THE BURNING OF ANY WASTE MATERIAL. FOR FURTHER INFORMATION REGARDING VARIANCES CONTACT

Mr. David Rice
Dept. of Environment Management
Office of Air Management
P.O. Box 6015
Indianapolis, Indiana 46206-6015

Ph.(317) 232-8244

Gary Harling
Fire Marshall Division Chief of
Fire Prevention
17535 Dartown Road
Westfield, Indiana 46074
Ph. (317) 896-2704
Commercial Inspections Only

**Inspection Fees** – Required permits shall be issued upon payment of inspection fees according to the following schedule. The following inspection fees shall be assessed for each site visit required for each stage of construction approval. Some or all of the following inspections may be required:

#### **BUILDING INSPECTION FEES**

INSPECTION TYPE		FEE
RESIDENTIAL	under-slab plumbing; *rougaddition to permit cost.	inspections (*footing; *foundation or gh-in; and *final); inspection cost is in Detached accessory structures shall inspections and other inspections as
*Footing		\$50
*Foundation or un	der-slab plumbing	\$50
Electrical – tempo	orary	\$50
*Rough-in		\$50
*Final structure		\$50
Final site		\$50
All other inspection  Director	ons as determined by	\$50

NONRESIDENTIAL (including agricultural) Minimum of four required inspections (\*footing; \*foundation or under-slab plumbing; \*rough-in; and \*final); inspection cost is in addition to permit cost. Agricultural structures (those subject to permit requirements) shall require footing and final inspections and other inspections as determined by the Director.

*Footing	\$90
*Foundation or under-slab plumbing	\$90
Electrical – temporary	\$90
*Rough-in	\$90
*Final structure	\$90
Final site	\$90
All other inspections as determined by	\$90
Director	

The following fees shall also be assessed as warranted:

OTHER FEES	Residential	<u>Nonresidential</u>
Need duplicate permit card Failure to Schedule Inspection Failed inspection	\$20 \$250 See Chart Be	\$20 elow
(e.g., no original permit on premises, no access to the structure, not ready for the inspector, inspection done, deficiencies remain)		
Commencing construction without a permit or without a passed inspection (in addition to the inspection fee)	\$400	\$1,250
Occupying a structure without a  Certificate of Occupancy	\$2,500	\$5,000

INSPECTION TYPE		RESIDENTIAL	COMMERCIAL
Footing	First Inspection	\$50.00	\$90.00
	Subsequent Inspections	See chart below	See chart below
Foundation	First Inspection	\$50.00	\$90.00
	Subsequent Inspections	See chart below	See chart below
Rough-In	First Inspection	\$50.00	\$90.00
	Subsequent Inspections	See chart below	See chart below
Final	First Inspection	\$50.00	\$90.00
	Subsequent Inspections	See chart below	See chart below

FAILED INSPECTION CHART			
RESIDENTIAL COMMER			
1 <sup>ST</sup> Inspection	\$50.00	\$90.00	
2 <sup>ND</sup> Inspection	\$100.00	\$180.00	
3 <sup>RD</sup> Inspection	\$150.00	\$270.00	
4 <sup>TH</sup> Inspection	\$200.00	\$360.00	
5 <sup>TH</sup> Inspection	\$250.00	\$450.00	

#### **NOTES:**

- 1. For unusually large or complex buildings or structures, the number and types of required inspections shall be determined by the Director.
- 2. No concrete shall be placed for foundations without prior inspection.
- 3. No electrical, mechanical, or plumbing work shall be covered without prior inspection.
- 4. All inspection fees shall be paid to the City of Westfield prior to the issuance of a Certificate of Occupancy.

**Building Permit Fees** – Required permits shall be issued upon payment of Building Permit fees according to the following schedule:

**BUILDING PERMIT FEES** 

PERMIT TYPE	FEE
AGRICULTURAL  Agricultural/farm buildings which  have major electrical, plumbing, sewage or water installations	\$70+\$0.07/SF
Agricultural/farm buildings which do not have major electrical, plumbing, sewage or water installations	No Fee
RESIDENTIAL  Residential-single family, first 1000 SF  Each additional SF	\$400 \$0.07
Two-Family Dwelling Each additional SF	\$400/DU \$0.07
Tri-Quad Dwelling Each additional SF	\$350/DU \$0.07
Multi-Family (>4 units)	\$250 + \$75/unit + Inspections
Residential addition	\$100+\$0.07/SF + Inspections
Residential accessory buildings/structures Storage buildings, detached carports/garages, other accessory structures with foundations, in- ground pools	\$100+\$0.07/SF + Inspections
NONRESIDENTIAL (Commercial and Industrial)	
New construction and addition	\$400+\$0.10/SF + Inspections
Remodel	\$125+\$0.10/SF + Inspections
OTHER Certificate of Occupancy	\$50
Demolition	\$100
Building Relocation	\$100/structure
Temporary Building	See note 7.

#### **NOTES:**

- 1. Square footage calculations shall be based on gross square footage of dwelling, including basement, attached garage and unfinished attic rooms.
- 2. Models and Displays Offices, mobile homes, residences or apartments planned to be moved to other locations will be charged the same fee as permanent construction plus dismantling or moving fee.
- 3. No permit charges are made on distribution lines for oil, gas, water, electricity, telephone, cable television, fiber optic and other telecommunications.
- 4. An improvement that requires approval by the Indiana Department of Fire and Building Services shall also require a Building Permit to be issued by the City of Westfield, Community Development Department.
- 5. Additions to residential dwellings shall require Building Permits to be issued.
- 6. When a structure is moved from one location to another, within Washington Township, Hamilton County, Indiana, applicable fees shall be charged for removing the structure from its location. Building Permit fees shall be charged for the placement of the structure at its new location. To receive a Building Permit, all appropriate materials must be supplied to the Building Commissioner, as if the structure were being newly constructed.
- 7. Temporary Permit fees are based on a thirty (30) day period. All periods less than thirty (30) days shall be charged the full thirty- (30) day rate. (i.e., thirty-one (31) days equals two (2) thirty (30) day periods, sixty-one (61) days equals three (3) thirty (30) day periods).

All temporary building permit fees are calculated by the base rate of \$100, times the number of structures, times the number of months (maximum of three (3) months) (\$100 X 1 structure X 3 months=\$300).

Review Of Application – THE REVIEW PROCESS MAY TAKE UP TO TEN BUSINESS DAYS BEFORE APPLICATION IS APPROVED. Prior to the issuance of any building permit, the Building Commissioner, or duly authorized representatives, shall:

- 1. Review all building permit applications to determine compliance with the adopted construction standards.
- 2. Review all building permit applications for new construction or substantial improvements to determine whether proposed building sites will be reasonably safe from flooding.
- 3. Review building permit applications for new construction or substantial improvements within the floodplain area having special flood hazards to assure that the proposed construction (including prefabricated and mobile homes):
  - a. Is protected against flood damage;
  - b. Is designed (or modified) and anchored to prevent flotation, collapse, or lateral movement of the structure; and
  - c. Uses construction methods and practices that will minimize flood damage.

**Inspections** – After the issuance of any building permit, the Building Commissioner shall make, or shall cause to be made, inspections of the work being done as are necessary to ensure compliance with the provisions of the adopted construction standards and the terms of the permit. Reinspections of work found to be incomplete or not ready for inspection shall be subject to additional fees as prescribed in this document.

**Inspection Assistance** – The Chief of the Fire Department, or designated representatives, may assist the Building Commissioner in the inspection of fire suppression, detection and alarm systems and may provide reports of such inspection to the Building Commissioner.

**Entry** – Upon presentation of proper credentials, the Building Commissioner or duly authorized representatives may enter at reasonable times any building, structure or premises in the City of Westfield and/or Washington Township to perform any duty imposed by this document.

**Stop Work** – Whenever any work is being done contrary to the provisions of this document, the Building Commissioner, or duly authorized representatives, may order the work stopped by notice, in writing, served on any persons engaged in the causing of such work to be done. Any such persons shall forthwith stop such work until authorized by the Building Commissioner, or duly authorized representatives, to proceed with the work.

**Certificate Of Occupancy** – No certificate of occupancy for any building or structure constructed shall be issued unless such building or structure was constructed in compliance with the adopted construction standards. It shall be unlawful to occupy any such building or structure unless a full, partial, temporary or conditional certificate of occupancy has been issued by the Building Commissioner.

**Workmanship** – All work on the construction and alteration of buildings and other structures shall be performed in a good and workmanlike manner according to accepted standards and practices in the trade.

**Violations** – It shall be unlawful for any person, firm or corporation, whether as owner, lessee, sub-lessee, or occupant, to erect, construct, enlarge, alter, repair, improve, remove, convert, demolish, equip, use, occupy or maintain any building or structure, in the City of Westfield or cause or permit the same to be done, contrary to or in violation of the provisions of this document.

**Right Of Appeal** – All persons shall have the right to appeal any order of the Building Commissioner first through the City Council of the City of Westfield and then to the Fire Prevention and Building Safety Commission of Indiana in accordance with the provisions of IC 22-13-2-7 and IC 4-21.5-3-7.

Remedies – The Building Commissioner shall, in the name of the City of Westfield, bring actions in the Circuit or Superior Courts of Hamilton County, Indiana, for mandatory and injunctive relief in the enforcement of and to secure compliance with, any order(s) made by the Building Commissioner. Any such action for mandatory or injunctive relief may be joined with an action to recover the penalties provided for in this document.

**Penalties** – Any person, firm or corporation which fails, refuses, or neglects to obey any provision of this code shall be fined an amount not less than twenty-five dollars (\$25), nor more than three hundred dollars (\$300). Each day each violation exists shall constitute a separate offense.



Westfield Public Works 2706 E 171<sup>st</sup> Street Westfield, IN 46074 Office (317) 896-5452 Fax (317) 867-0202

### **Project Information Sheet**

Contacts:	
Project Engineer:	
Address:	
City, State & Zip	
Contact Person	Phone:
Address.	r:
City State & Zin	
Contact Person	Phone:
Contact I erson	rhone:
Project Specifics: Proj	ect Name:
<b>Subdivisions</b>	Section Number:
	Number of Lots:
	Pool House (sf):
	Pool Area (sf):
	Pool Deck Area (sf):
,	commercial, retail, medical offices, schools, townhomes, etc.)
Please fill in the appropriate info	ormation for your project.
Office: Sf:	No. of employees:
Warehouse: Sf:	No. of employees:
Medical: Sf: No. of	Dr's No. of Nurses No. of Support Staff
Retail: Sf:	No. of employees:
Food Service or Restaurant: S	Sf: No. of seats:
Church: Sf:	No. of Sanctuary Seats:
School: Sf:	No. of Students:
Dentist: Sf:No. of	No. of Students: No. of Dentists No. of Support Staff
Multifamily Building: No. of	1-bedroom units
No. of	2-bedroom units
No. of	3-bedroom units

To avoid delays in the permit process please complete and forward to the Public Works Department the same day you apply for your building permit at City Hall. All fees must be paid before the building permit will be released.

## WESTFIELD PUBLIC WORKS FUBLIC

## EROSION & SEDIMENT CONTROL PERMIT APPLICATION FOR RESIDENTIAL AND COMMERCIAL LOTS

Development	Subdivision:	
Lot #:	Property Addr	ress:
Applicant's Name:		Contractor/Builder:
Address:		Address:
'hone: ( )		
Fax: ()		Fax: ()
Joniaci Ferson.		
Cell Phone: ()		
Type of Lot: ( )	Residential <2 Acres	
	Residential >2 Acres	Acreage:
	Commercial	Acreage:
,		
Trained Individua	al in Charge of the St	ormwater Pollution Prevention Program
lame:	Address:	Phone #:
Qualifications:		r nono n.
The individual lot ope	rator is responsible for	installation and maintenance of all erosion and bilized. See Ordinance 06-16 for further details
The individual lot ope sediment control meas	rator is responsible for	installation and maintenance of all erosion and
The individual lot open sediment control measure of Applicant	rator is responsible for	installation and maintenance of all erosion and bilized. See Ordinance 06-16 for further details  Date
The individual lot oper sediment control measure of Applicant itle	rator is responsible for ures until the site is stal	installation and maintenance of all erosion and bilized. See Ordinance 06-16 for further details  Date  Contact Phone
The individual lot oper sediment control measure of Applicant itle	rator is responsible for ures until the site is stal	installation and maintenance of all erosion and bilized. See Ordinance 06-16 for further details  Date  Contact Phone
The individual lot oper sediment control measure of Applicant itle  You must contact Westinstalled but at least	rator is responsible for ures until the site is stal	installation and maintenance of all erosion and bilized. See Ordinance 06-16 for further details  Date  Contact Phone  (317-896-5452) after your erosion contact intend to begin earth moving activities
The individual lot oper sediment control measure of Applicant itle  You must contact West installed but at least	rator is responsible for ures until the site is stal	installation and maintenance of all erosion and bilized. See Ordinance 06-16 for further details  Date  Contact Phone
The individual lot oper sediment control measure of Applicant itle  You must contact West installed but at least	rator is responsible for ures until the site is stalest stales	installation and maintenance of all erosion and bilized. See Ordinance 06-16 for further details  Date  Contact Phone  (317-896-5452) after your erosion contact intend to begin earth moving activities
The individual lot oper sediment control measure of Applicant itle  You must contact West installed but at least allow our ins	rator is responsible for ures until the site is stalest stales	installation and maintenance of all erosion and bilized. See Ordinance 06-16 for further details  Date  Contact Phone  (317-896-5452) after your erosion contact intend to begin earth moving activities your erosion control placement.  Use Only***
The individual lot oper sediment control measure of Applicant itle  You must contact West installed but at least allow our ins	rator is responsible for ures until the site is stalest the site i	installation and maintenance of all erosion and bilized. See Ordinance 06-16 for further details  Date  Contact Phone  (317-896-5452) after your erosion contuintend to begin earth moving activities k your erosion control placement.  Use Only***  Check #:
The individual lot oper sediment control measure of Applicant itle  You must contact West installed but at least allow our insurant at Received by EC Inspector	rator is responsible for ures until the site is stalest the site is stalest field Public Works 48 hours before you pector time to check ***Office U	installation and maintenance of all erosion and bilized. See Ordinance 06-16 for further details  Date  Contact Phone  (317-896-5452) after your erosion contact intend to begin earth moving activities your erosion control placement.  Use Only***



#### **Comprehensive Fees Chart**

All fees are assessed by the Westfield Public Works Department (WPWD).

#### **WATER**

Connection Fee (Per EDU)

\$500.00

Availability Fees

\$1,800.00

(Per EDU)

Permit Fee

\$300.00

#### **WASTEWATER**

Connection Fee (Per EDU)

\$1,200.00

Availability Fees

\$3,500.00

(Per EDU)

Permit Fee

\$300.00

#### **ROAD IMPACT**

as of June 2007

Single Family Resident

\$1800/residence

Commercial and Industrial

\$188/trip



#### **FEES**

- 1. The calculations and collection of water availability and connection fees for residential and commercial projects are different in many ways. Residential developments and commercial developments availability fees are one thousand eight hundred dollars (\$1800) per equivalent dwelling unit (EDU) with a connection fee of five hundred (\$500) per EDU, per Ordinance 07-14. The assigned number of EDU's for the various land uses shall be determined by the use of Table 11-1 of 327 IAC 3-6-11 as applicable. Availability fees shall be paid in full prior to start of construction for developments and availability fees for individual properties not part of a larger development shall be paid at the time of the Water and Sewer Application prior to installation. Connection fees are required to be paid in full during the filing of the Water and Sewer Application. Building permit applications will not be issued until all fees are paid in full. Water permits are required under 327 IAC 8-3-7 (10) water infrastructure. The fee associated with the permit is to be paid by the developer (\$300.00 check made payable to the City of Westfield Public Works) and submitted with the application and plans to the Westfield Public Works Department.
- 2. The calculations and collection of sanitary sewer availability and connection fees for residential and commercial projects are different in many ways. Residential developments and commercial developments availability fees are three thousand five hundred dollars (\$3500) per equivalent dwelling unit (EDU) with a connection fee of one thousand two hundred (\$1200) per EDU, per Ordinance 06-43. The assigned number of EDU's for the various land uses shall be determined by the use of Table 11-1 of 327 IAC 3-6-11 as applicable. Availability fees shall be paid in full prior to start of construction for developments and availability fees for individual properties not part of a larger development shall be paid at the time of the Water and Sewer Application prior to installation. Connection fees are required to be paid in full during the filing of the Water and Sewer Application. Building permit applications will not be issued until all fees are paid in full. The fee associated with Sewer Application submittal is to be paid by the developer (\$300.00 check made payable to the City of Westfield Public Works) and submitted with the application and plans to the Westfield Public Works Department.

- 3. Road impact fees are also calculated and collected for residential and commercial projects during different times from preconstruction thru post-construction. Fees for residential developments are one thousand eight hundred dollars (\$1800) per residence and are paid prior to receiving a building permit for each lot within the development. Road Impact fees for commercial projects are calculated based off the proposed uses for the development and are required to be paid in full prior to start of construction.
- 4. Inspection fee Ordinance 05-25 covers inspection fees. Ordinance 07-04 covers Plan review, Rezone and PUD fees and are calculated based off the number of sheets submitted for the final approved construction plans and developers shall be responsible to pay all plan review fees as invoiced by the Westfield Public Works Department **before any review** of the project shall commence. Below is a list of the required plan review fees:

Number of Sheets	<u>Rezone</u>	<u>PUD</u>	Review Fee	<u>Re-Review Fee</u>
1 to 20	\$250.00	\$1,325.00	\$1,325.00	\$150.00
21 to 40	\$300.00	\$1,590.00	\$1,590.00	
41 to 60	\$350.00	\$1,855.00	\$1,855.00	
61 to 80	\$400.00	\$2,120.00	\$2,120.00	
Each additional				
20 sheets	\$450.00	\$265.00	\$265.00	

An additional fee of \$300.00 shall be imposed for the erosion and sedimentation control plan submitted with Primary, Secondary and Construction plan review.

Fire service plans submitted for review shall be assessed a \$265.00 review fee and \$250 application fee..

Inspection fees for projects will be estimated for the developer based off the construction plans submitted. Actual inspection fees will be based from actual inspection time in the field for the development of the project. Table A1 of Ordinance 05-25 lists inspection types and fees.

5. Encroachment Specification Ordinance permits and fee requirements, in regards to development and construction, will be waived within the boundaries of the proposed development during construction. Permits pertaining to requirements associated with the developments outside the boundaries of the proposed development will require permit application. Refer to the Encroachment Specification Ordinance for applicable fees.

## City of Westfield, INDIANA APPLICATION FOR ENCROACHMENT

City of Westfield Public Works Department 2706 E. 171<sup>st</sup> Street

Date of Application	
PERMIT NUMBER:	
FEE:	

The Permittee hereby requests permission to encroach on the following public right-of-way: street, sidewalk, alley, or other public place at the described location. Applicant shall submit <u>one original</u> application with plans attached either in person, or by mail. No verbal transmissions will be accepted. Facsimile transmissions will be accepted only at the approval of the Director or his representative. The approved permit is to be picked up personally by applicant. Call (317) 896-5452 if there are any questions concerning the above procedures or to purchase copies of Encroachment Standards Ordinance.

		Street Address	City, State & Zip Code	Telephone
Name of Sub-Co	ontractor performing work			
		Street Address	City, State & Zip Code	Telephone
Street/Road Nar	ne and Address of work			
Sub-Division -				
Location of Wo	rk Street [] Alley [] Side	walk [] Shoulder/Bern []	Type: Cut [] Bore []Trench [] Other []	
Type of constru New Construction	ction: WATER GAS EI	LECTRIC TELEPHONE cisting Construction []	CATV SEWER OTHER.	
ivew Construction	on []	.,		
	· [1	-		
Please describe	· [1			
Please describe	work proposed:			
Please describe IUPPS Number:	work proposed:			
Please describe IUPPS Number: SIZE OF STRE	work proposed:ET OR RIGHT-OF-WAY C	UT	Depth Within Traffic LanesFeet	
Please describe	work proposed:  ET OR RIGHT-OF-WAY C  Length Feet  Length Feet  CONCRETE ASP  ASPHALT OVER BRIG	<u>UT</u> WidthFeet  WidthFeet  PHALT ASPHALT OVE	Depth Within Traffic LanesFeet  Depth Within SidewalkFeet  R CONCRETE BRICK	
Please describe IUPPS Number: SIZE OF STRE Traffic Lanes: Sidewalk: Circle Surface:	work proposed:  ET OR RIGHT-OF-WAY C  Length Feet  Length Feet  CONCRETE ASP  ASPHALT OVER BRIGOTHER (explain)	UT  WidthFeet  WidthFeet  PHALT ASPHALT OVE	Depth Within Traffic LanesFeet Depth Within SidewalkFeet CR CONCRETE BRICK	
Please describe IUPPS Number: SIZE OF STREI Traffic Lanes: Sidewalk: Circle Surface:	work proposed:  ET OR RIGHT-OF-WAY C  Length Feet  Length Feet  CONCRETE ASP  ASPHALT OVER BRIGOTHER (explain)  Craffic Portion of Street or R	UT  WidthFeet  WidthFeet  PHALT ASPHALT OVE  CK GRAVEL-DIRT	Depth Within Traffic LanesFeet  Depth Within SidewalkFeet  R CONCRETE BRICK  feet	R/W Feet
Please describe IUPPS Number: SIZE OF STRE Traffic Lanes: Sidewalk: Circle Surface: Total Width of T	work proposed:  ET OR RIGHT-OF-WAY C  Length Feet  Length Feet  CONCRETE ASP  ASPHALT OVER BRIGOTHER (explain)  Craffic Portion of Street or R  anes No.	UT  WidthFeet  WidthFeet  PHALT ASPHALT OVE  CK GRAVEL-DIRT	Depth Within Traffic LanesFeet  Depth Within Sidewalk Feet  R CONCRETE BRICK  feet  Hours Closed	R/W Feet  Length

(Signature required on back)

#### TERMS AND CONDITIONS FOR ENCROACHMENT PERMIT

- 1. It is understood that any permit by virtue of this request is revocable at the pleasure of the City of Westfield and that the same shall be voided if the following terms and conditions are not fulfilled by the Permittee. The Permittee hereby agrees to observe all requirements of the Encroachment Standard Ordinance and comply with the conditions set forth by the MUTCD Rulings and Revisions.
- 2. The undersigned shall notify the Director or his representative a minimum of 72 hours prior to the time that work is to be performed. The undersigned will furnish placards identifying equipment, flashers, barricades, and/or other warning devices at the construction site. When two-way traffic is confined to one lane, flagging personnel shall be required. Permittee must follow Chapter XVII of Title 29,Code of Federal Regulation, Part 1926 Know as Safety & Health Regulation for Construction
- 3. In cases where the work authorized by the permit will cause major interference with traffic flow on streets, Permittee shall provide a uniformed traffic officer when requested by the Director or his representative to provide traffic control at the construction site. Work shall not be performed on any major arterials, streets, and thoroughfares during rush hours or peak hours of vehicular traffic flow, unless in case of emergencies.
- 4. The Permittee shall not create a hazardous or unsafe situation at construction sites, which would cause injury or damage to vehicular and pedestrian traffic. The Permittee shall not leave unattended open cuts unprotected overnight or during weekend periods. Permission to use temporary steel plates or any authorized substitutes shall be requested at open cuts or construction sites. The Director or his representative shall be notified of these steel plates or substitutes by the Permittee.
- 5. All construction equipment and/or vehicles left unattended for any length of time shall be parked in locations as to not create hazardous and unsafe situations to vehicular and pedestrian flow. The construction equipment and/or vehicles shall be parked in such a manner as to not restrict sight distance to vehicular traffic.
- 6. The Permittee shall hold harmless and indemnify the City of Westfield from, for and against any claim of any person in tort, contract, or otherwise arising out of the act or omissions of the Permittee, their agents, representatives, servants, contractors, and the latter's subcontractors, whenever such acts or omissions or any rights or performance or exercise thereof, of the Permittee arise under this permit from alteration, modernization, replacement, operation, maintenance, change or removal of any part or portion of the public right-of-way, or facility thereof.
- 7. The Permittee shall stipulate the type of materials and method of repair utilized to close any open cuts, subject to the Director or his representative's approval.
- 8. The Permittee shall begin work within 45 working days from the date of application approval, and work must be completed within 60 working days of the application approval. Any construction and/or work not completed by this date shall be grounds to nullify and void this permit. Re-application would then be necessary
- 9. The Permittee shall be required upon completion of construction and/or work to notify the Director or his representative for inspection and verification. The construction and/or work shall be inspected prior to being accepted by the City of Westfield as being complete. The Director or his representative shall perform the inspection.
- 10. Upon the completion of all open street cuts, permanent patches shall be in place no later than 20 working days from the temporary patch inspection date. Any construction work or repair measures utilized to close any open cuts made under this permit that are found to be unsatisfactory shall be corrected within 10 working days by the Permittee. The Permittee shall be responsible to maintain and repair any and all open cuts granted by this permit for a period of one year upon final acceptance, unless the City of Westfield and/or other utilities, contractors, or subcontractors or other parties remove, damage, modernize, replace, change any part or portion of the public right-of-way or facility or thereof granted under this permit.

11. Upon Completion/Acceptance by Director or his Representative. As bu completion.	ilds must be	provided (print and CD form) within 30 days of	
Signature of Applicant T	itle	Date	
Printed Name			
Company Name	Telephone Number ( )		
For Office Use Only:			
75 07 0 15 15 15 15 15 15 15 15 15 15 15 15 15	YES NO	Number of Personnel Necessary:	
Steel Plates or any other authorized substitute to be used? Circle:	YES NO	(If yes refer to Item 4)	
Type of materials and methods used to close or repair open cuts sha pre-approved, please list below:	ll conform	to Attachment A. If another method has been	
		INSPECTORS	
Director/or his representative Date Approved		Final Inspection: Time:	
Public Works Department (317) 896-5452: Permit Records and Insp Work Completed Date:	Permit Complete: Time:		